

BUILDING APPLICATION FORM.

Date 22 Oct 1957.

The County Clerk,  
Marlborough County Council,  
BLENHEIM.

Dear Sir, I hereby apply for permission to erect alter convert reinstate Dwelling

for Mr Bruce G. G. Fleming  
Address Gloucester Blenheim  
Builder G. R. Greig, 33 Ellam Rd Blenheim  
(Name) (Address)

according to the plans and specifications deposited herewith.

1. LOCALITY Gloucester  
Asst. No. 2076/389 Description: Lot No. etc., D.P. 1841, Pt. Sec. 38. W/West

2. PARTICULARS OF LAND: Frontage By depth of Area

3. PARTICULARS OF BUILDING: Foundations concrete Walls Brick  
Roof Iron Area of Ground Floor 11.0.0 Sq. ft.  
Area of outbuildings Sq. ft.

4. ESTIMATED COST OF: Building or Alterations £ : :  
VALUE Plumbing & Drainage £ : :  
TOTAL £ 3000 : : :

Proposed purposes for which every part of above building is to be used or occupied (describing separately each part intended for use of occupation for a separate purpose)

Proposed use or occupancy of the other existing part of building (if any)

offered 24/10/57  
R. Greig  
Off. Secy. of Council

Yours faithfully,  
(Signature of Applicant) G. Greig  
Address 33 Ellam Rd

FOR OFFICE USE ONLY

Application No. 153  
Date of Issue 28-10-57  
Permit No. 519  
Fee Paid £ 6: - : -  
Receipt No. 28.23  
REMARKS.

## S P E C I F I C A T I O N

OF WORK TO BE DONE AND MATERIALS TO BE USED  
IN THE ERECTION AND COMPLETION OF A DWELLING  
IN ACCORDANCE WITH PLAN  
FOR MR. B. J. C. FLEMING  
AT GROVETOWN  
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### P R E L I M I N A R I E S

- (1) These specifications are general only, and the particular contract is governed by the plan details. The method and class of materials only are as specified by these specifications except that a workmanlike job must be completed.
- (2) All contracts are to be completed under the supervision of and to the satisfaction of the State Advances Corporation's Property Supervisor.
- (3) These specifications are subject to and may be varied from time to time in order to comply with the By-Laws of the Local Authority, the Building Control Regulations, and the requirements of the State Advances Corporation.
- (4) With the consent of the owner, available materials may be substituted for specified materials in short supply.

CONTRACT: The sheets of working drawings with this specification and attached general conditions of contract shall form the basis of this contract. Figure dimensions must always be taken in preference to scaling.

PERMITS: The Contractor shall pay all fees and obtain all permits necessary to the proper execution of the work.

LUMP SUMS: All lump sums are strictly nett and the contractor is to allow for his reasonable profit on same. Should the owner exercise his right to purchase any or all of the articles mentioned, the amount allowed shall be deducted from the contract at completion.

GENERAL: All work is to be executed as indicated or implied in or by the drawings and/or this specification. Quality and description of materials must be strictly adhered to, and all work performed in an efficient and thorough workmanlike manner in accordance with the best and latest trade practices and local Authority By-Laws and Regulations. Make good at completion of and after all trades.

INSURANCE: The Contractor to have all his employees covered against accident by an "Employer's Liability" policy and to take out insurance against fire for the full insurable value of the complete building, both policies to remain in force until the building is taken over by the owner.

The owners shall have the right, within reason, of inspecting the work during working hours, but shall have no right at other times.

- 2 -  
EXCAVATOR

(1) GENERAL EXCAVATIONS:

The plans are drawn showing level sites and all the levelling shall be done by the owner. In the event of extra foundations over those shown on the drawings being required this is to be an extra of the Contract. Excavate as required for foundations, footings, posts, blocks, walls etc., to the various depths, levels and grades required for the erection of the building and its appurtenances.

CONCRETOR

(1) MATERIALS FOR CONCRETE:

Aggregate shall be shingle or approved hard metal free from carthy matter and of size to pass a 1" mosh.

SAND: Sand shall be sharp and gritty and free from salt and other foreign matter.

CEMENT: Cement shall be Portland to conform with New Zealand Standard Specification No.43.

(2) CONCRETE MIX:

Concrete throughout shall be composed of 1 part cement, 2 parts sand as specified and 4 parts of crushed metal as specified, measured by volume; alternatively, 4 parts of mixed aggregate and sand to 1 part of cement, measured by volume. If a mechanical mixer is used, concrete shall be mixed thoroughly for not less than 2 minutes. Only sufficient water shall be used to give a stiff workable mix.

(3) BOXING:

All boxing shall be well fitted together and firmly secured into position. All boxing shall be thoroughly wetted and cleaned out immediately before concrete is placed.

(4) PILES:

To be 8" x 8" boxed plumb and given a good spread at foot, and shall be taken down not less than 1' below ground level, and in all cases piles must be taken to solid ground.

(5) CHIMNEY FOUNDATIONS:

Shall extend 4" outside of overall dimensions of chimney.

(6) DAMP COURSE:

Provide to tops of foundations walls, piers and piles, a damp-proof course of 3-ply bituminous fabric.

(7) CHIMNEY:

The whole to be precast concrete Type C.P. 30 or similar type.

(8) FIREPLACE:

Allow the P.C. sum of £15.0.0 (Fifteen Pounds) for fireplace surround and hearth and installation of same. This sum covers the State House type only.

(9) GRATE:

Provide and fix 14" approved Cl Colonial type grate to fireplace.

(10) CORNER BLOCKS:

These to be built of 4:2:1 concrete with corner blocks 2'6" long and 5" thick.

PLASTERER

All exterior work, including chimney shall be plastered in accordance with standard practice.

CARPENTER AND JOINER

(1) GENERAL:

All timber to be the best of its respective kind and according to schedule, free from all defects and well seasoned. All grading must be strictly conformed to and any timber not meeting requirements of such grading shall be rejected and removed from the site.

(2) PROTECTION OF WORK:

All finished or partly finished work shall be protected from the weather or damage from any other source.

(3) PAINT PRIMING:

The external face and laps of all exterior finishing, timbers, external faces and rebates of window and door frames, and woodwork of all sashes shall be primed before being fixed.

(4) SCHEDULE OF TIMBERS:

The sizes, quality etc., of unwrought timbers, unless otherwise shown or specified, are to be in accordance with the following schedule:-

<u>DESIGNATION</u>	<u>SIZE</u>	<u>QUALITY</u>	<u>REMARKS</u>
Sleeper plates and foundation braces	4 x 3	B.A. Heart Rimu	
Jack studs	4 x 2	" "	
Ground Floor Joists	5 or 6 x 2	" "	at 18" centres
Bottom wall plates	4 x 2	" Rimu	
Top wall plates	4 x 2	" "	
Studs generally	4 x 2	" "	at 18" centres
Trimming studs to openings	4 x 3	" "	
Studs and plates to minor partitions	3 x 2	B.A. Rimu	at 18" centres
Noggings to walls: 2" x full thickness of wall stud		" "	2'8" centres
Braces: External walls	6 x 1	" "	
Braces: Internal "	4 x 1	" "	
Ceiling Joists	4 x 2	" "	at 18" centres
" noggings	3 x 2	" "	
Rafters	4 x 2	" "	at 18" centres
Stringers under rafters	4 x 2	" "	set on edges

<u>DESIGNATION</u>	<u>SIZE</u>	<u>QUALITY</u>	<u>REMARKS</u>
Roof struts	4 x 2	B.A. Rimu	alternate rafters
Collar ties	6 x 1	" "	alternate rafters
Ridges, hips	8 x 1	" "	
Valleyboards	9 x 1	" "	
Eaves, bearers and stringers	3 x 1	" "	at 18" centres
Tile battens	2 x 1	B.A. Heart Rimu	

#### BEAM SCHEDULE

Openings up to 3' 1" wide	4 x 2	B.A. Heart Rimu	
Openings from 3' 1" to 4' 6" wide	4 x 3	" "	"
Openings from 4' 6" to 6' 8" wide	5 x 4	" "	" These may be two 5" x 2"
Openings from 6' 8" to 8' 10" wide	6 x 4	" "	" These may be two 6" x 2"
Openings from 8' 10" to 11' 0" wide	8 x 4	" "	" These may be two 8" x 2"
Openings from 11' 0" wide	10 x 4	" "	" These may be two 10" x 2"

The Contractor reserves the right to use grades of timber including tanalised and untreated pinus where allowed by the State Advances Corporation of N.Z.

#### (5) FRAMING:

The whole of the building is to be properly framed, and the various sections securely spiked together. Plates and sleepers shall be halved together at joints and angles, which in all cases shall be over solid bearings. Sleeper plates shall be set on edge at not more than 6' 6" centres for 5 x 2 and 8' centres for 6 x 2. Floor joists shall be gauged over sleeper plates to a uniform level with laps not less than 6" in length well spiked together. Two joists shall be provided under all internal partitions running parallel with floor joists. Braces shall be cut in flush with face of stud at an angle of approximately 45°.

External angles shall be double studded blocked. Roof shall be set to pitch as indicated on drawings. Rafters shall be in single lengths birdsmouthed over and securely spiked to wall plates. Where ridge boards are joined they are to be well spliced together with 1" boards, spiked on both sides. Strut and brace roof with 4" x 2" material, secure struts and braces to a 4" x 2" bearer plate fixed to ceiling joists over partition walls.

#### (6) BUILDING PAPER:

All external walls shall be covered from top plate to sleeper plate with "bitumac" or other approved building paper. Cover valley linings in a similar manner.

#### (7) WEATHERBOARDS:

Shall be of not less than 6" x 1" bevel back timber as in Clause 4 hercof in long lengths fixed with not less than 1¼" lap. Butt joints are to be staggered. External angles mitred, internal angles scribed, and all set in thick lead and oil paint.

(8) FLOORING:

Wood floors shall be out of 4" x 1" T. & G. Dressing A Heart or approved dipped Rimu or Matai, or other flooring approved by the State Advances Corporation of N.Z. all to be laid in long lengths cut close to all sides and angles, cramped close and double nailed. Bore butts for brads. No two adjacent boards to abut on the same joist. Before laying flooring, all shavings, pieces of wood and all trade debris of every kind is to be removed from under the floor joists.

(9) WINDOW SASHES:

Sashes shall be constructed of D.A. Heart Totara or Redwood. All sashes throughout are to be 1 $\frac{3}{4}$ " finished thickness moulded and rebated. Sashes shall be weathergrooved right round. Glazing bars to be  $\frac{7}{8}$ " D.A. Heart Totara or Redwood double rebated. Sashes are to be of stock sizes as shown on drawings and generally shall be set with heads at same height as door heads. Opening windows shall be hinged or constructed with split rail fanlights as shown on drawings.

(10) WALL LININGS:

Line the whole of the interior walls with first grade Gibraltar Boards sheets  $\frac{3}{8}$ " thick, sheets shall be kept  $\frac{1}{8}$ " apart and the joints and nail holes shall be pointed as specified for fibrous plaster.

(11) CEILINGS:

Line all ceilings with Pinex softboards veed at joints.

(12) CEILING CORNICE:

Provide 1 $\frac{1}{2}$ " wooden scotia to all ceilings.

(13) DOORS, FRAMES:

External Door Frames:

Sills shall be D.A. Heart Totara or Matai out of 8" x 2" and jambs and heads shall be of D.A. Heart Rimu, Totara or Matai out of 1 $\frac{1}{2}$ " timber.

Internal Door Frames:

Shall be of  $\frac{7}{8}$ " finished thickness, the full width of walls.

Doors Generally:

External doors to be D.A. Heart Totara, Rimu or Matai. Internal doors are to be D.A. Rimu or Matai. Provide and fix where directed, access door to ceiling, size 2'0" x 2'0".

(14) KITCHEN FITTINGS:

Construct kitchen sink bench, safe, cupboards, etc., in accordance with details and generally as follows: the whole shall be prefabricated and installed where shown on drawings. The whole to be framed up with 1" thick sides, partitions, etc., 1 $\frac{1}{4}$ " dresser top and best quality Terrazzo sink bench top, dished to opening to take 18" x 12" sink specified under "Plumber". Food safe to have top and bottom vents covered with 26 gauge gauze. Size of vents 6" x 6". Cupboards doors to be  $\frac{3}{4}$ " flush plywood.

(15) HOTWATER CUPBOARD:

Cupboard shall be made to allow for removal of cylinder and to give easy access to heating element. Fix slat shelves out of 2" x 1" with  $\frac{1}{2}$ " space between.

(16) BATHROOM CABINET:

In bathroom construct a recessed shaving cabinet 24" x 16" with mirror, overall.

(17) WARDROBES AND CLOAKS:

Finish wardrobes internally with a full length shelf out of 12" x 1" at a height of 6'. Provide a  $\frac{3}{4}$ " diameter hanger rod supported at ends on neat wood fillots 2" below upper shelf. Provide top shelf in cloaks as for wardrobes.

(18) LINEN CUPBOARD:

Provide in linen cupboard, full length shelves out of 1" material spaced at 12" centres and supported at ends upon 1" ledges.

(19) FINISH TO BATH:

Set bath on floor and fix angle fillots out of 2" timber. Frame up front with 3" x 2" timber on flat if required. Line with  $\frac{3}{8}$ " Gibraltar Board, as for walls. Finish the intersection of bath flange and wall with 6" x 1" D.A. Rimu skirting. Skirting shall be scribed accurately to bath, set in white lead, and finished with rounded upper edge and ends.

(20) SKIRTING AND ARCHITRAVES:

All walls throughout shall be provided with moulded skirting cut of 3" x 1". Scribe skirting accurately to floors, and mitres at angles. Architraves shall be as for skirtings, mitred at door and window heads and mitred and scribed to skirtings at floor.

(21) MANTELPiece TO FIREPLACE:

Mantelpiece shall be constructed with shaped shelf out of  $1\frac{1}{4}$ " material. To raised hearth provide moulded wood kerb out of 3" x 2" mitred at angles and scribed to wall finish.

HARDWARE

(1) GENERAL:

Provide and fix all ironmongery and metal work to complete the contract.

(2) DOOR BUTTS AND HINGES:

External doors shall be hung on one and a half pairs of  $3\frac{1}{2}$ " butts with loose pins. Fix with galvanised screws. Internal doors generally shall be hung on one and a half pairs of  $3\frac{1}{2}$ " butts with loose pins. Fix with 1" screws.

(3) SASH BUTTS:

Side-hung sashes shall be hung on one and a half pairs of 3" galvanised butts with fixed pins. Fanlight sashes shall be hung on one pair of similar butts. Fix with  $1\frac{1}{4}$ " galvanised screws into sash and 1" galvanised screws into jamb.

SASH STAYS:

- (4) Fix all sashes with Antique Stays and Quadrants.

(5) DOOR LATCHES:

Allow 15/- per latch for all internal full size doors.

(6) CUPBOARD CATCHES:

Fix "Pallo" type catches to all cupboard doors.

(7) WEATHER BARS:

To split-rail fanlight sashes, provide and fix  $1\frac{1}{2}$ " and  $\frac{3}{8}$ " wooden weather bars.

ROOF TILES

(1) TILES:

Concrete pattern tiles shall be of an approved make and colour (except green), care must be taken in fixing to give a pleasing range of colour variation to approval.

(2) FIXING:

Roofing contractor to provide 2-year guarantee against leakage etc., before work is paid for. Each tile shall be secured to battens with No. 19 gauge galvanised iron wire. Valley tiles are to be neatly cut with full cover and with wedges fixed to support the cut edge. All hips and ridges etc., shall be pointed up with coloured 2 to 1 cement mortar. Hip and valley tiles and ridge capping shall be made to blend in with field roofing and to suit pitch of roof. Six spare tiles to be left on the ceiling near man-hole.

PLUMBER AND DRAINER

(1) GENERAL:

The contractor shall provide all materials, labour and plant necessary to complete the work in accordance with the drawings, specifications, Local Authority and Health Department By-Laws. Give all necessary notices to the Local Authorities and arrange for the inspection and testing of the work and materials. The contractor is to subject all water installations to a full water-pressure test. All fittings and fixtures shall be tested and left in perfect working order.

(2) FLASHING:

In general the whole of the building shall be flashed where ever necessary to make the whole watertight.

Flash heads of windows, flash external doors at heads and sills, and also at jamb, all in 26 gauge galvanised iron with beaded edges.

Flash and cover flash intersections of chimney and vents, etc., with roof.

(3) FITTINGS:

Allow for the supply and fixing of bath, basin, copper, wash tubs and sink, fitting up complete by contractor. Supply



FITTINGS: Cont'd.

and fix all white pedestal pattern W.C. with wood double flap seat. All fixtures to be of good quality N.Z. manufacture.

(4) W.C. CISTERN:

Shall be constructed of 1" thick D.A. Heart Rimu with tongued joints set in red lead, complete with rebated lid, securely fixed to wall and lined with 4 lb. lead and seamed and soldered joints. Cistern shall be lowdown complete with stopcock and ballcock approved flush valve and 1½" flush pipe to pan. W.C. shall be fitted up complete with necessary vent, waste, etc., and left in complete working order with overflow taken outside through wall. In areas where septic tanks are not permitted, an outside chemical pan closet of fibrolite will be provided and the W.C. fittings will be supplied for connecting to future drains. The vent and waste to be omitted.

(5) WATER SERVICE:

Lay on the water service from the main in ½" screwed wrought iron piping buried at least 9" into ground and concealed in walls where junctions are run to fittings. All pipings shall be run in ½" to fittings and fitted with ½" reductions to taps of tubs, sink and basin. Water shall be run to the following fittings; Two tubs, sink, bath, basin, W.C. low-down cistern and one hose tap where directed.

(6) TAPS:

Taps shall be chromium plated taps marked "HOT" and "COLD"; except those over copper and tubs which shall be brass.

<u>Bath:</u>	¾"	flanged bib cocks
<u>Basin:</u>	½"	pillar cocks
<u>Sink:</u>	½"	bib cocks with wall flanges
<u>Tubs:</u>	½"	cocks with wall flanges brass
<u>Copper:</u>	½"	cock with wall flanges brass
<u>Hose Tap:</u>	½"	brass hose cock, where directed.

(7) WASTES:

To bath, basin, sink and tubs shall run to gullies in 1½" lead pipe with proper traps.

(8) HOT WATER SERVICE:

Hot water cylinder shall be of best quality of the usual type supplied for dwellings. Cylinder shall be connected up complete and shall be provided with 750W electric element, all to approval. Cylinder shall be fitted with approved pressure-reducing valve. Cylinder shall be lagged with approved insulation 2" thick at sides and 4" thick at ends, the whole encased in a 26 gauge plain G.I. container. All hot water service pipes shall be copper and lagged with hair felt wired on. Unions to be metal to metal, and supply to bath and sink to be ¾" with ½" branches to basin and one tub and copper in laundry.

(9) VENTS:

Main and terminal vents shall be placed where required and shall be 4" cast iron carried up above roof level and finished with wire guards.

(10) GULLY TRAPS:

Shall be placed where required and shall have sides built up in concrete finished smooth. Provide cast iron grating.

(11) SPOUTING AND DOWNPIPES:

To be aluminium and fixed according to standard practice.

(12) SEWERDRAINS:

To be installed to the satisfaction of the Health Inspector.

(13) SEPTIC TANK:

Shall in all cases be built in accordance with modern practice to the approval of the Health Inspector.

ELECTRICIAN

(1) ALL WORK:

Shall be in strict accordance with the latest Electrical Wiring Regulations to the satisfaction of the Underwriters Association Inspector and other authorities concerned.

Electrician shall take out the necessary permits for the work and shall pay all fees in connection therewith.

(2) CABLES:

Shall be T.R.S. and fixed according to Power Board Regulations.

(3) MAIN SWITCHBOARD:

Allow for provision of flush type switchboard size 18" x 16" screwed to wood frame and provided with oxidised copper butterfly hinges bolted to metal strap on back of board.

(4) LAMP HOLDERS:

Shall be bayonet type bakelite complete with galleries.

(5) CEILING ROSE:

Shall be brown bakelite of "Titegrip" brand or approved equivalent.

(6) SWITCHES:

Approved tumbler-type insulated switches all of flush type with flush box and bakelite plate complete, and shall be placed most conveniently to serve their respective lights.

(7) LAMPS:

Shall be of coiled-coil type, "pearl" or "inside frosted" and shall comply with BSS No. 161, 1936.

(8) WALL PLUG SOCKETS:

Shall be 10 ampere, with 3-pin receptacle, complete with 3-pin plug top and bakelite flush plate complete.

(9) RANGE:

Provide and fix one "Necco" electric range, 3 plate type. Allowing for fitting and fixing complete in accordance with the requirements of the local Electric Authority.

In the event of a "Necco" range not being available then the owner shall select a type of range and will pay any extra in price or be allowed a credit as the case may be.

(10) WIRELESS AERIAL:

In the roof space instal a wireless aerial at least 50'0" in length, supported and strained in an approved manner on not less than four insulators, and of not less than 7/029 bare stranded copper, to which shall be sweated a dropper of 7/029 VIR cable connected to a two-pin aerial plug with bakelite face plate labelled "Aerial" and "Earth" and located where directed in living room. An earth wire shall be run and coupled to nearest water pipe with earthing clip.

(11) ELECTRICAL SCHEDULE: Lights and points as in Plan.

(12) HOT WATER SERVICE:

Electrician shall connect up 750W element to hot water cylinder in kitchen.

PAINTER AND PAPERHANGER

(1) MATERIALS:

All materials shall be of approved brands, delivered in unbroken packages, bearing brands and makers' names complete. Materials shall be applied strictly in accordance with makers' instructions. Approved brands ready mixed paints may be used.

(2) PROTECTION OF WORK:

The contractor shall take adequate precautions, during and after painting operations, both inside and out, to protect his work from dirt, dust and other disfigurement.

(3) EXTERIOR OF WORK:

All to be painted shall be primed, stopped, undercoated and finish coated to approval.

(4) EXTERIOR METALWORK:

All exposed metalwork, flashings, downpipes, vent and other pipes, etc., are to be painted to match surrounding colours. Soil and other pipes coated with bitumastic shall be painted with aluminium paint to prevent bleeding.

(5) INTERIOR WORK:

Interior enamel work shall be primed, stopped, undercoated and one final coat of enamel to high gloss finish. All work to be varnished shall be stained, knotted and varnished to an egg-shell gloss.

Allow P.C. sum of 5/- per roll for all papers.

SCHEDULE OF INTERIOR FINISH

<u>Space</u>	<u>Walls</u>	<u>Ceilings</u>	<u>Sundry Wood Finish</u>
Living Room	Papered	Distempered	Varnished
Bedroom 1	"	"	"
Bedroom 2	"	"	"
Hall	"	"	"
Wardrobes	"	"	"
Coats	"	"	Varnished
Kitchen	Enamelled	Enamelled	Enamelled
Laundry	"	"	"
Bathroom	"	"	"

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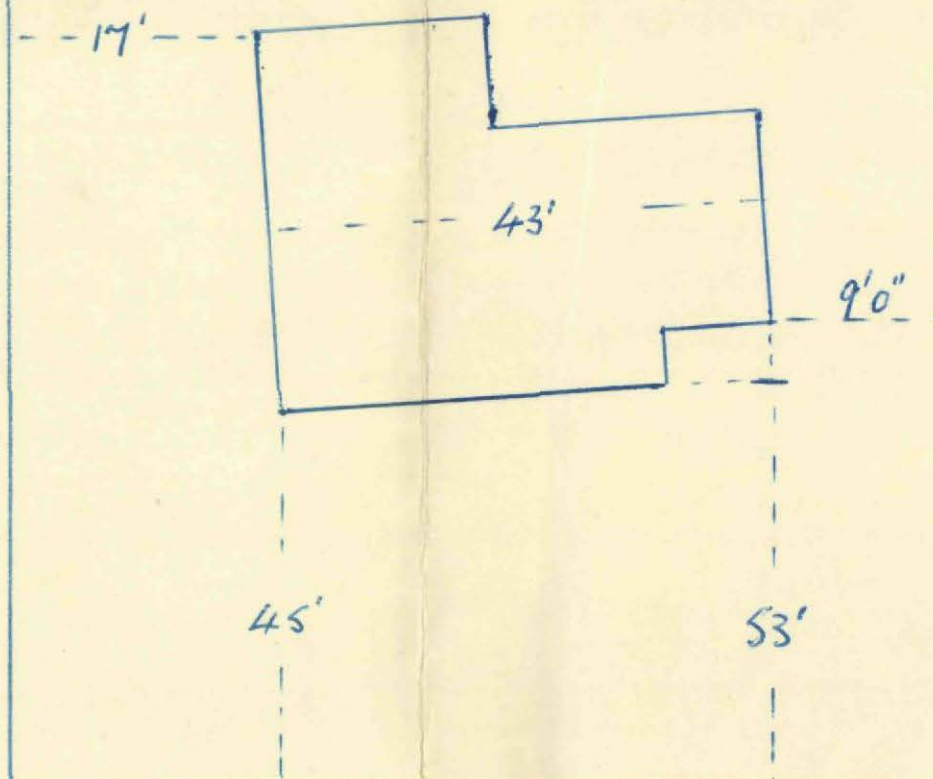
SITE PLAN PROPOSED

RESIDENCE MR. B.T.C. FLEMING

GROVETOWN IV.

D.P. 1841

P1 Sec

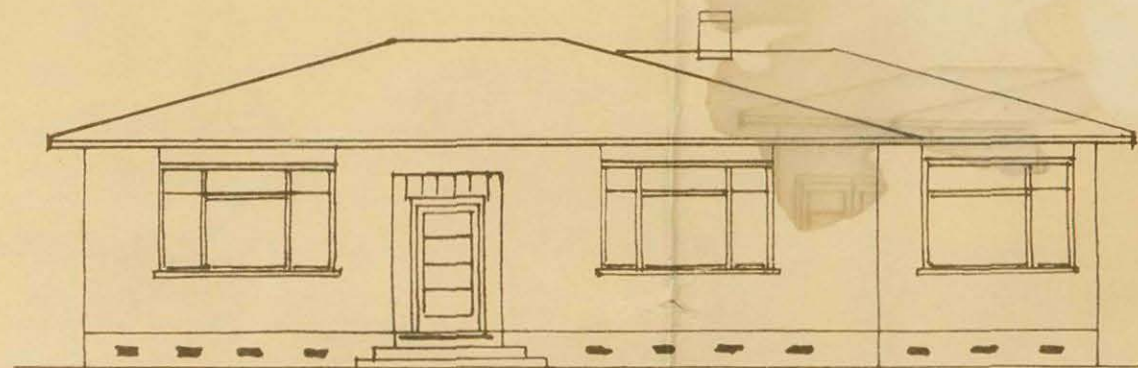


BLENHEIM - PICTON HIGHWAY.

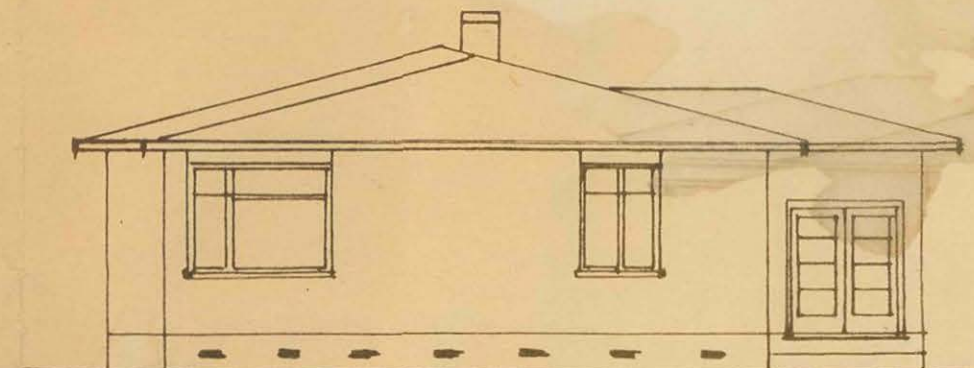


26 g. IRON ROOF 15° PITCH

16" SOFFIT



EAST ELEVATION

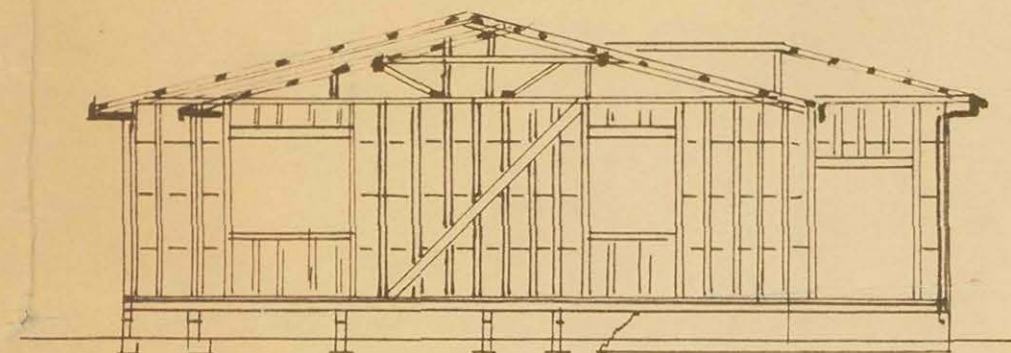


NORTH ELEVATION

PORCHES VERTICAL W/BOARDS

- A HOT WATER
- B INCINERATOR
- C EL. STOVE
- D BROOMS
- E REFRIG.
- F CUPB.

- LIGHTS
- ▼ HEAT POINTS



8'2"

SECTIONAL ELEVATION

PROPOSED RESIDENCE IN BRICK VENEER FOR  
MR B.J.C. FLEMING GROUETOWN

SCALE 1/8" PER FT.

G + R GREIG BUILDERS

